



**CHAMPIA**  
REAL ESTATE INSPECTIONS

## Inspection Report

Property Address:



**Champia Real Estate Inspections, LLC**

**4015 Wetherburn Way  
Building A, Suite 200  
Peachtree Corners, GA 30092  
770-953-0767**



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<b>Date:</b> 8/6/2018	<b>Time:</b> 09:00:00 AM	<b>Report ID:</b> 32621 a
<b>Property:</b> [Redacted]	<b>Customer:</b> [Redacted]	<b>Real Estate Professional:</b> [Redacted]

**Comment Key or Definitions**

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

**Inspected (IN)** = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

**Not Inspected (NI)** = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

**Not Present (NP)** = This item, component or unit is not in this home or building.

**Attention required (AR)** = The item, component or unit is not functioning as intended, missing or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

All completed Champia Real Estate Inspections come with the following FREE services:

- 5 year Platinum Roof Leak Warranty
- 90 Day Structure/Mechanical Warranty
- 90 Day Mold Warranty
- 90 Day Main Sewer/Water Line Warranty
- 120 Day Radon Warranty (with test)
- Personal Home Assistant for your move in needs
- \$200 of Handyman Services
- Home Owners Network for free technical support for life
- RecallChek on appliances for life!

Additionally, this home now qualifies for purchase of our 18 month Home Warranty priced at the typical 12 month home warranty price. Champia Real Estate Inspections is providing you with 6 additional months of warranty for free. That's 18 months of coverage for the price of 12 months. This warranty is backed by RWA, a national warranty provider. [Click HERE for more details](#) .

**Standards of Practice:**

ASHI American Society of Home Inspectors

**In Attendance:**

Customer

**Type of building:**

Single Family (2 story)

**Temperature:**

Over 65 (F) = 18 (C)

**Weather:**

Clear





## Summary



**CHAMPIA**  
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**Customer**



**Address**



The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. **This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.**

### 1. Grounds

#### General Summary

##### 1.2 DECKS, SUN ROOM

###### Attention required

- (1) Damage/decay noted at walls of the shed below the deck landing. Repair/replace as necessary.
- (2) Handrail not graspable at rear deck stairs. NOTE: Handrails should be graspable. Install as necessary.
- (3) Decay noted at lower left deck stair post and signs of decay at rear support post(s). NOTE: Infestation of wood destroying organisms and decay is possible. Monitor and repair as necessary. Recommend to use ground-contact rated materials.
- (4) Retractable awning noted at rear deck. NOTE: The awning attached to the electrical system, but the mechanism had to be operated manually to work. Recommend to consult with owner/refer to (awning) manufacturers guidelines for operational instructions.

##### 1.4 DRIVEWAY, WALKWAYS, PATIOS

###### Inspected

- (2) Railing to low at rear left guardrail. NOTE: Railings should be at least 36" high. Recommend upgrade.



- (3) Settlement/displacement (appr. 1") noted at rear left patio. Repair as necessary.
- (4) Missing handrail noted at rear walkways/stairs to lower landing and rear of the property. Recommend to install handrails to increase operational safety.
- (5) Decay noted at rear lower landing timbers. Monitor and repair/replace as necessary.
- (6) Insufficient guard noted at lower patio and signs on decay at the bottom of the material. NOTE: Guards should be able to withstand a side impact of 200 lbs. Recommend to upgrade guards.
- (7) Missing guards noted at rear left sunken bench. NOTE: Guards should be installed at distances at (or lower) than 30" within 3 ft. Recommend upgrade.

## 2. Exterior

### General Summary

#### 2.0 WALL CLADDING

##### Attention required

- (1) Unsealed penetration noted at exterior cladding at left side. Observed at/around condenser line sets penetrations. Seal penetrations to avoid moisture and animal entry.
- (2) Crack noted at rear brick column. Monitor and repair/replace as necessary.

#### 2.1 FLASHING AND TRIM

##### Attention required

- (1) NOTE: Brick veneer and decorative roof at rear right sun room/porch appear to be added at a later date than original construction. The brick veneer (presumably around support columns) covers some of the fiber cement cladding and the columns are capped with masonry material. Flashing or sealant was not observed. Recommend to install flashing avoid moisture entry.
- (2) Signs of activity of wood destroying insects noted at rear right and lower patio portico structures. Repair as necessary.

## 3. Attic / Roof

### General Summary

#### 3.0 ATTIC / ROOF GENERAL

##### Not Inspected

Roof at rear and right was not visible due to lot and height restrictions. Unable to inspect. Recommend to consult with a licensed roofing contractor for evaluation.

#### 3.5 ANIMAL AND INSECT ACTIVITY IN THE ATTIC

##### Attention required

Signs of animal activity noted in the attic (droppings). Recommend to consult with a qualified pest and wildlife exclusion contractor.

#### 3.6 ROOF COVERINGS

##### Attention required

- (1) Lifted shingle noted at front right gable. Recommend adjustments to lay shingle(s) flat and minimize risk of wind damage.
- (2) Damaged vent cover noted at rear left roof area. Replace cover.

#### 3.9 ROOF DRAINAGE SYSTEMS

##### Attention required

- (1) Loose downspouts noted at rear left, right and center. Repair as necessary.
- (2) Downspout extension at rear center terminated in front of deck support column. Recommend to re-direct extension to avoid erosion/weakening of soil.

(3) Missing kick-out flashing noted at roof-to-wall intersections. NOTE: Kick-out flashing should be installed at wall-to-roof intersection to direct rain run-off away from exterior. Recommend upgrade.

(4) Covered gutter solution noted at numerous gutters. NOTE: Covers tend to hold/accumulate leaves/needles. Recommend frequent/as necessary maintenance to avoid rain back-up.

## 4. Garage / Carport

### General Summary

#### 4.2 GARAGE FLOOR

##### Inspected

(1) NOTE: Garage floor at front right is below driveway grade and rain run-off could accumulate in this area. Monitor and adjust/repair as necessary.

#### 4.4 GARAGE DOOR OPERATION (report whether or not doors will reverse when met with resistance)

##### Attention required

The right hand garage door did not reverse when met with resistance. Adjust lift motor as necessary.

## 5. Interiors

### General Summary

#### 5.0 INTERIOR GENERAL

##### Not Inspected

NOTE: The home is furnished and occupied. Some areas were not accessible (including garage and basement). Recommend re-inspection once all areas are accessible.

#### 5.3 FLOORS

##### Inspected

"Scalloping" noted at dining area and master bedroom flooring. NOTE: "Scalloping" indicates moisture content, possibly from high humidity. Monitor and repair/replace as necessary.

#### 5.5 DOORS (representative number)

##### Attention required

(1) Door at pantry does not latch. Adjust as necessary.

(2) Exterior doors are keyed. NOTE: Egress doors should not be keyed at the interior to allow for opening of the door(s) without a key in case of emergency. Install dead bolts with thumb latch.

(3) Lower door lock at right hand (stationary) panel of the front door does not lock. Adjust as necessary.

(4) Doors at rear left basement and wine cellar do not latch/door panels bind. Adjust as necessary.

(5) Door lock at sun room does not operate. Adjust/repair/replace as necessary.

#### 5.6 WINDOWS (representative number)

##### Attention required

(1) Cracked pane noted at garage/rear right window. Replace pane.

#### 5.7 FIREPLACES (heating devices, flues, vents)

##### Attention required

Missing seal noted at gas line penetration into the firebox at the fireplace. Seal penetration to improve fire safety.

## 6. Kitchen

### General Summary

#### 6.3 VENTILATION

**Not Present**

Kitchen vent was sealed at the exterior and is apparently not in use. NOTE: An alternate source of cook top ventilation was not noted. Recommend to remove unused features and seal exterior as necessary.

**7. Plumbing System****General Summary****7.1 PLUMBING WATER SUPPLY, DISTRIBUTION SYSTEMS AND FIXTURES****Attention required**

- (1) Missing protection against freezing noted at rear water supply pipe. NOTE: Exposed water supply pipes should be protected against freezing. Repair as necessary.
- (2) High water pressure noted at rear exterior faucet (at deck). NOTE: Water pressure should not exceed 80 psi (between 40 and 80 psi). Adjust/replace pressure reduction valve as necessary to reduce water pressure below 80 psi to protect plumbing system.
- (3) Signs of prior moisture entry and repairs noted at the water main supply entry into the basement. Monitor and repair as necessary.

**7.3 HOT WATER SYSTEMS, CONTROLS, FLUES AND VENTS****Inspected**

Missing drain pan noted at water heater. Recommend to install a drain pan/catch pan with moisture sensor to minimize risk of flood damage. Refer to manufacturers guidelines.

**7.4 LAUNDRY****Attention required**

Loose dryer vent cover and lint accumulation noted at dryer vent. The backdraft flap does not close. Clean vent to avoid fire hazard and recommend to install a louvered cover.

**7.5 BATHROOMS****Attention required**

- (1) The whirlpool function at the master bathroom tub did not operate. Recommend evaluation by a licensed plumbing contractor.
- (2) Separation noted at numerous back-splash panels and observed at 2nd floor shared bathroom sink area(s). Seal as necessary.
- (3) Leak noted at 2nd floor hall bathroom bathtub/shower head. Repair/replace as necessary.
- (4) **Leak noted at 2nd floor shared bathroom at left sink faucet. Recommend further evaluation by a licensed plumbing contractor.**
- (5) **Loose toilet bowl noted at basement bathroom. Reset toilet bowl with approved sealing material (i.e. wax ring) and secure as necessary.**
- (6) Diverter at basement bathroom did not seal properly (when set to shower operation). Adjust/repair as necessary.
- (7) **Leak noted at rear left basement, presumably originating from the master bathroom shower or whirlpool tub. Consult with a licensed plumbing contractor for further evaluation.**

**8. Electrical System****General Summary****8.1 SERVICE AND GROUNDING EQUIPMENT, PANELS, BREAKERS****Attention required**

Missing bonding jumper noted to bypass equipment in-line at copper water lines (i.e. pressure reduction valve) or to connect hot/cold water lines. Install bonding jumper(s) as necessary to include copper water lines into the grounding system.



**8.3 CONNECTED DEVICES AND FIXTURES (observed from a representative number of ceiling fans, lighting fixtures and switches)**

**Attention required**

- (1) Loose fixture noted at rear left exterior (deck). Adjust fixture/seal as necessary to avoid moisture entry.
- (2) Separated light fixture noted at master bathroom shower. Adjust as necessary.
- (3) Light fixtures at numerous locations did not operate and observed at the basement bathroom fan/light and rear basement light fixtures. Check light bulbs/evaluate circuits. Replace/repair where necessary.

**8.4 RECEPTACLES (observed from a representative number of receptacles)**

**Attention required**

Missing cover noted at receptacle in the kitchen sink cabinet. NOTE: Junction, switch and receptacle boxes should be covered. Install covers as necessary.

**8.5 GFCI (Ground Fault Circuit Interrupters)**

**Not Present, Attention required**

- (1) Missing GFCI (and AFCI) protection noted at kitchen receptacles (counter, island and under-sink). Recommend to install GFCI (and AFCI) protection at noted locations.
- (2) The GFCI receptacle in the master bathroom was found painted over. Recommend replacement.
- (3) The GFCI receptacle in the basement bathroom did not reset. Recommend evaluation of the receptacle, wiring, breaker (as necessary) by a licensed electrical contractor.

**8.7 SMOKE DETECTORS**

**Not Inspected**

NOTE: The smoke and carbon monoxide detectors appear to be monitored remotely (some locations). Unable to test functions. Recommend to consult with owner for clarification.

**8.8 CARBON MONOXIDE DETECTORS**

**Not Inspected**

Refer to previous comment.

**9. Heating / Air Conditioning**

**General Summary**

**9.0 HEATING EQUIPMENT**

**Attention required**

- (1) **The serial numbers of the 1st and 2nd floor furnaces indicates a year of manufacture in 1997 and are 20+ years old. NOTE: The typical life expectancy of furnaces is 15 - 20 years. Recommend service/evaluation by a licensed HVAC contractor.**
- (2) Improper installation of sediment trap noted at 2nd floor furnace gas supply. NOTE: The sediment trap has to be installed at a turn of the gas supply to work as intended. Repair as necessary. Refer to attached illustration for acceptable sediment trap configuration.
- (3) Combustion air not sufficient (for gas-fueled appliances). The combined BTU/hr. rating of 180,000 BTU/hr for the 1st floor furnace, basement furnace and water heater requires a room size of 9,000 cu.ft. if combustion air is taken from an enclosed area. NOTE: 50 cu.ft. per 1,000 BTU/hr. should be available if the combustion air is taken from a enclosed area. The available area volume is appr. 5,000 cu.ft. Introduce external combustion air to ensure proper operation of gas-fueled appliances.

**9.3 DISTRIBUTION SYSTEMS (fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)**

**Attention required**

- (1) Duct cover in the laundry is not secure. Repair as necessary.
- (2) The filter in the 1st floor return plenum was found bend (bending during operation). Recommend to install a retainer to keep the filter straight and improve air filtration.

**9.4 COOLING AND AIR HANDLER EQUIPMENT**







**Attention required**

- (1) The condenser pad for the 2nd floor condenser is not level. NOTE: Typically a level pad is required for condensers. Recommend to refer to (condenser) manufacturers installation guidelines and repairs if necessary.
- (2) **The serial number of the 2nd floor air conditioning unit indicates a year of manufacture in 1997 and is 20+ years old. NOTE: The typical life expectancy of condensers in the Southeast US is 15 - 20 years. Recommend service/evaluation by a licensed HVAC contractor.**
- (3) **Inadequate cooling noted at 2nd floor and basement. NOTE: A temperature difference of 15 F between return and supply is desired. The actual measured temperature was appr. 6 F (2nd floor), resp. 8 F (basement). Recommend further evaluation/service by a licensed HVAC contractor.**
- (4) Dripping condensate noted at 2nd floor condensate drain. Recommend to install insulation to avoid moisture dripping.

ALSO: Missing cap noted at the drain line turn-of-direction. Install (removable) cap to improve efficiency

- (5) Line set not secured. Noted at 2nd floor. NOTE: Typically line sets are secured every 6 ft. Refer to manufacturers guidelines and repair as necessary.

**10. Foundation**

**General Summary**

**10.4 ANIMAL AND INSECT ACTIVITY**

**Attention required**

Treatment against wood destroying organisms noted. Recommend to consult with owner about termite bond or obtain from a licensed pest control contractor.

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**1. Grounds**

Orientation: Description of exterior locations from facing front.

**Styles & Materials**

**Attached features:**

- Deck with steps
- Walkway
- Driveway
- Patio
- Covered porch

**Driveway:**

Concrete

**Walkways:**

- Concrete
- Flagstones

**Patios:**

- Concrete

		IN	NI	NP	AR
1.0	GROUND GENERAL	•			
1.1	STOOPS, STEPS, AREAWAYS, PORCHES	•			
1.2	DECKS, SUN ROOM				•
1.3	VEGETATION (with respect to their effect on the condition of the building)	•			
1.4	DRIVEWAY, WALKWAYS, PATIOS	•			
1.5	GRADING, DRAINING (with respect to their effect on the condition of the building)	•			
1.6	RETAINING WALLS	•			

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

IN NI NP AR

**Comments:**

**1.0** Loose board and decay noted at front left decorative bridge structure. Repair/replace as necessary.



Front left



1.2 (1) Damage/decay noted at walls of the shed below the deck landing. Repair/replace as necessary.



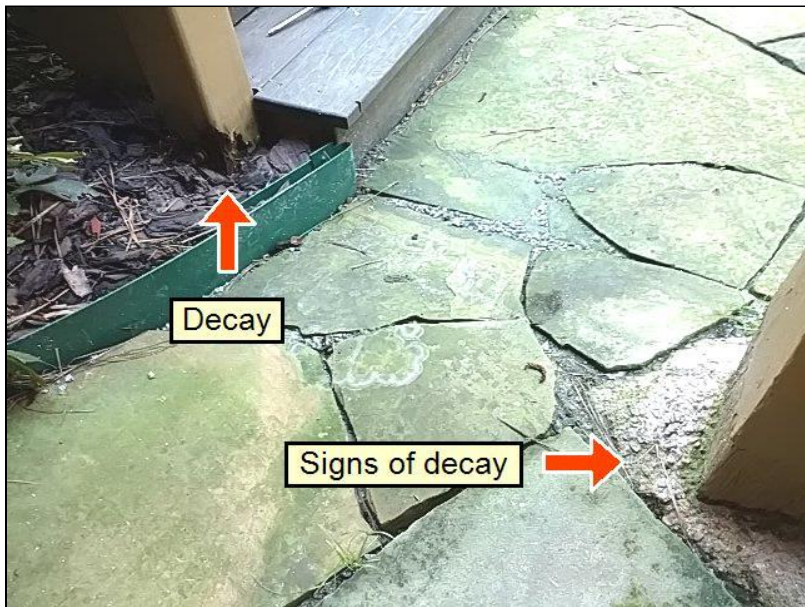
1.2 (2) Handrail not graspable at rear deck stairs. NOTE: Handrails should be graspable. Install as necessary.







1.2 (3) Decay noted at lower left deck stair post and signs of decay at rear support post(s). NOTE: Infestation of wood destroying organisms and decay is possible. Monitor and repair as necessary. Recommend to use ground-contact rated materials.



Rear deck stairs and post

1.2 (4) Retractable awning noted at rear deck. NOTE: The awning attached to the electrical system, but the mechanism had to be operated manually to work. Recommend to consult with owner/refer to (awning) manufacturers guidelines for operational instructions.



Rear deck

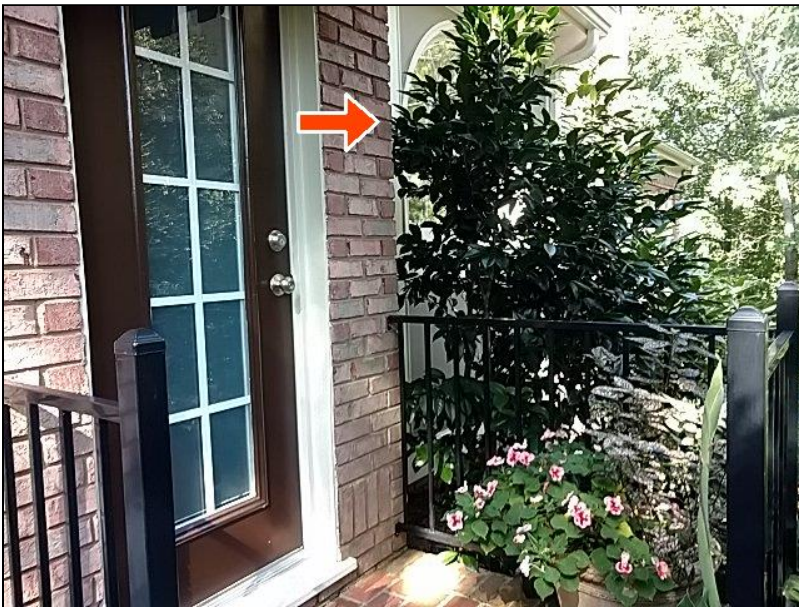




1.3 (1) Shrubs against the exterior noted front left and right. Recommend to maintain a distance of 6" to avoid damage to the exterior, animal and moisture entry.



Front left



Right







1.3 (2) Overhanging branches noted at right. Remove/trim trees/branches as necessary to avoid hazard to occupants, damage to the roof and exterior.



Right

1.4 (1) Common cracks noted at driveway. Monitor and repair as necessary.





1.4 (2) Railing to low at rear left guardrail. NOTE: Railings should be at least 36" high. Recommend upgrade.



Rear left

1.4 (3) Settlement/displacement (appr. 1") noted at rear left patio. Repair as necessary.



Rear left patio







1.4 (4) Missing handrail noted at rear walkways/stairs to lower landing and rear of the property. Recommend to install handrails to increase operational safety.



Rear



This location: Rear



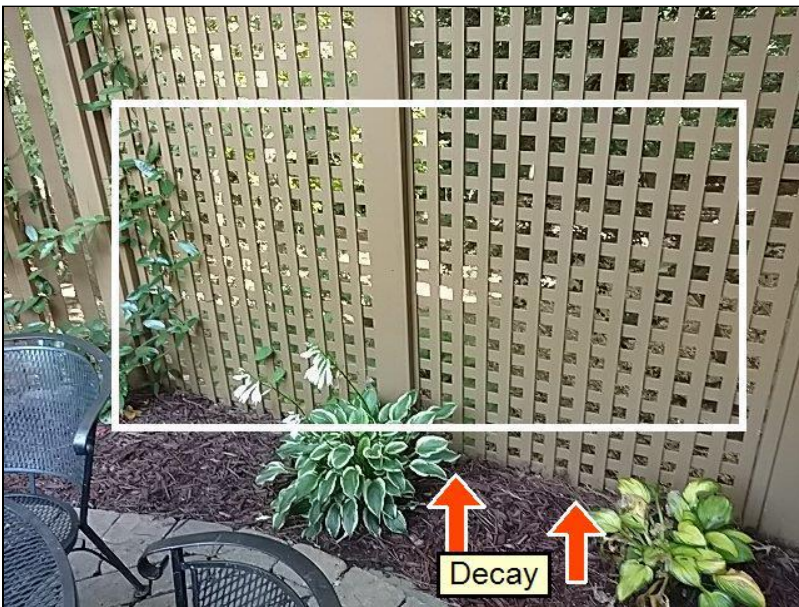


1.4 (5) Decay noted at rear lower landing timbers. Monitor and repair/replace as necessary.



Rear lower landing

1.4 (6) Insufficient guard noted at lower patio and signs on decay at the bottom of the material. NOTE: Guards should be able to withstand a side impact of 200 lbs. Recommend to upgrade guards.



Lower patio.



1.4 (7) Missing guards noted at rear left sunken bench. NOTE: Guards should be installed at distances at (or lower) than 30" within 3 ft. Recommend upgrade.



1.6 (1) Slight bulge (appr. 1") noted at rear right retaining wall. Monitor and repair as necessary.



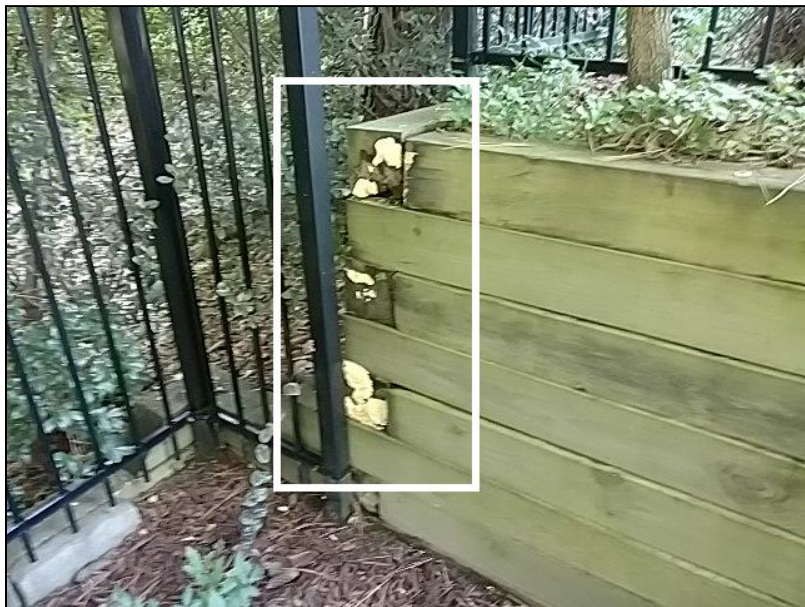
Rear right







1.6 (2) Signs of moisture exposure (as indicated by fungi growth) noted at rear right retaining wall material. Recommend to evaluate efficiency of drainage and adjustments/repairs as necessary.



Rear right

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**GROUNDS**

**The inspector shall inspect:** Attached and adjacent decks, balconies, stoops, steps, porches, and their associated flashings and railings. Vegetation, grading, surface drainage, and retaining walls that are likely to adversely affect the building. Adjacent and entryway walkways, patios and driveways. **The inspector is NOT required to inspect:** Fences, boundary walls, and similar structures. Geological and soil conditions. Recreational facilities. Seawalls, break-walls, and docks. Erosion control and earth stabilization measures.





**2. Exterior**

Orientation: Description of exterior locations from facing front.

**Styles & Materials**

**Siding material:**

Brick veneer  
Fiber cement

**Exterior entry doors:**

Steel

**Trim soffit facia:**

Wood

		IN	NI	NP	AR
2.0	WALL CLADDING				•
2.1	FLASHING AND TRIM				•
2.2	SOFFITS AND FASCIAS	•			

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IN NI NP AR

**Comments:**

**2.0 (1)** Unsealed penetration noted at exterior cladding at left side. Observed at/around condenser line sets penetrations. Seal penetrations to avoid moisture and animal entry.



Wall penetration at left





2.0 (2) Crack noted at rear brick column. Monitor and repair/replace as necessary.



Rear right

2.1 (1) NOTE: Brick veneer and decorative roof at rear right sun room/porch appear to be added at a later date than original construction. The brick veneer (presumably around support columns) covers some of the fiber cement cladding and the columns are capped with masonry material. Flashing or sealant was not observed. Recommend to install flashing avoid moisture entry.



Rear right columns







2.1 (2) Signs of activity of wood destroying insects noted at rear right and lower patio portico structures. Repair as necessary.



Rear right portico/roof



Lower patio portico

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EXTERIOR

**The inspector shall inspect:** Wall coverings, flashing, and trim, exterior doors, eaves, soffits, and fascias where accessible from the ground level. **The inspector shall describe:** Wall coverings. **The inspector is NOT required to inspect:** Screening, shutters, awnings, and similar seasonal accessories. Outbuildings other than garages and carports.





**3. Attic / Roof**

Orientation: Description of roof locations from facing front.

**Styles & Materials**

**Method used to observe attic:**

Walked

**Attic info:**

Pull-down stairs

**Roof covering:**

3-Tab fiberglass  
Architectural

**Roof structure:**

Rafters

**Roof decking:**

OSB sheathing

**Viewed roof covering from:**

Ground  
Ladder  
Binoculars  
Window  
Not accessible

**Chimney (exterior):**

EIFS

		IN	NI	NP	AR
3.0	ATTIC / ROOF GENERAL		•		
3.1	ATTIC ACCESS	•			
3.2	ROOF STRUCTURE AND ATTIC	•			
3.3	INSULATION IN ATTIC	•			
3.4	VENTILATION OF ATTIC	•			
3.5	ANIMAL AND INSECT ACTIVITY IN THE ATTIC				•
3.6	ROOF COVERINGS				•
3.7	FLASHINGS	•			
3.8	SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS		•		
3.9	ROOF DRAINAGE SYSTEMS				•

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IN NI NP AR

**Comments:**



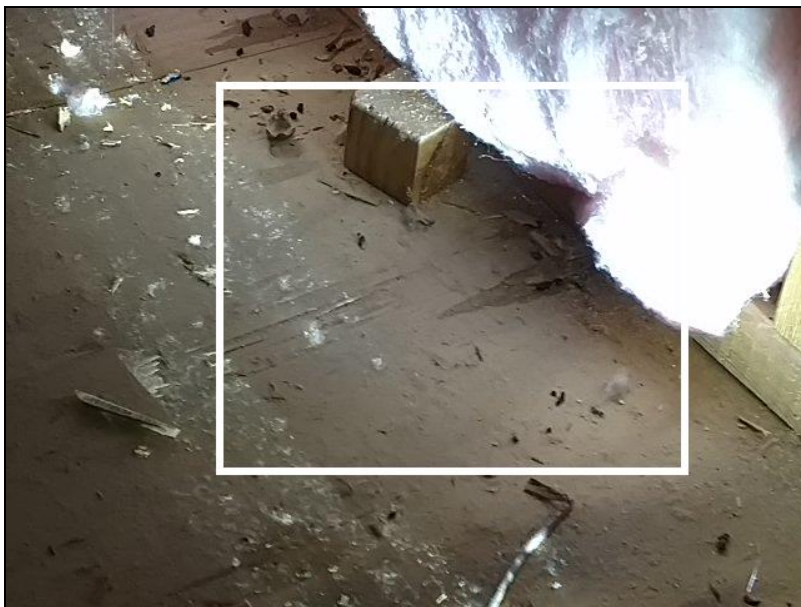


3.0 Roof at rear and right was not visible due to lot and height restrictions. Unable to inspect. Recommend to consult with a licensed roofing contractor for evaluation.



Rear

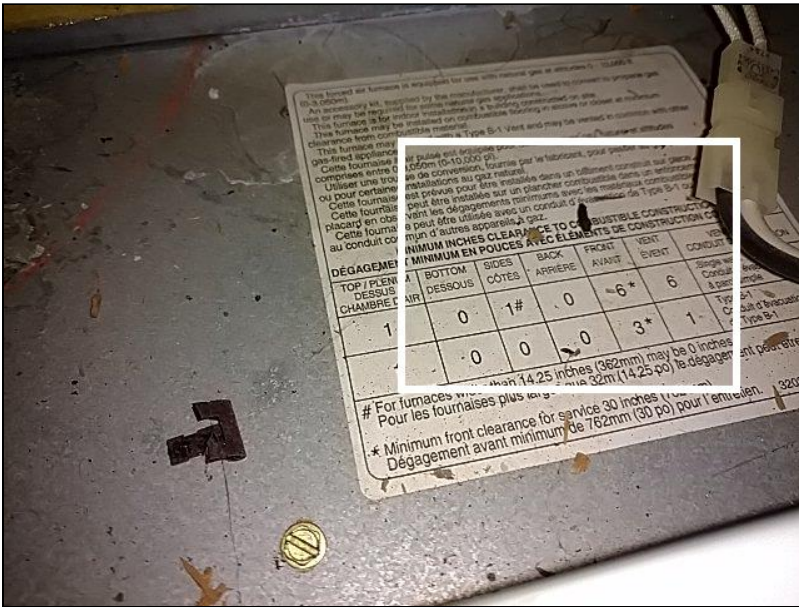
3.5 Signs of animal activity noted in the attic (droppings). Recommend to consult with a qualified pest and wildlife exclusion contractor.



Attic, left

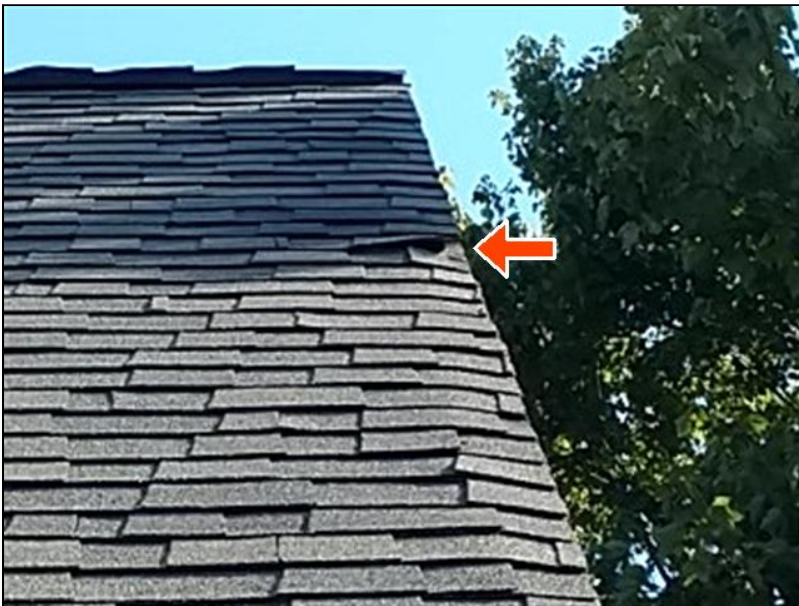






2nd floor furnace

3.6 (1) Lifted shingle noted at front right gable. Recommend adjustments to lay shingle(s) flat and minimize risk of wind damage.



Front right



3.6 (2) Damaged vent cover noted at rear left roof area. Replace cover.



Rear left

3.9 (1) Loose downspouts noted at rear left, right and center. Repair as necessary.



Rear left





Rear right



Rear center





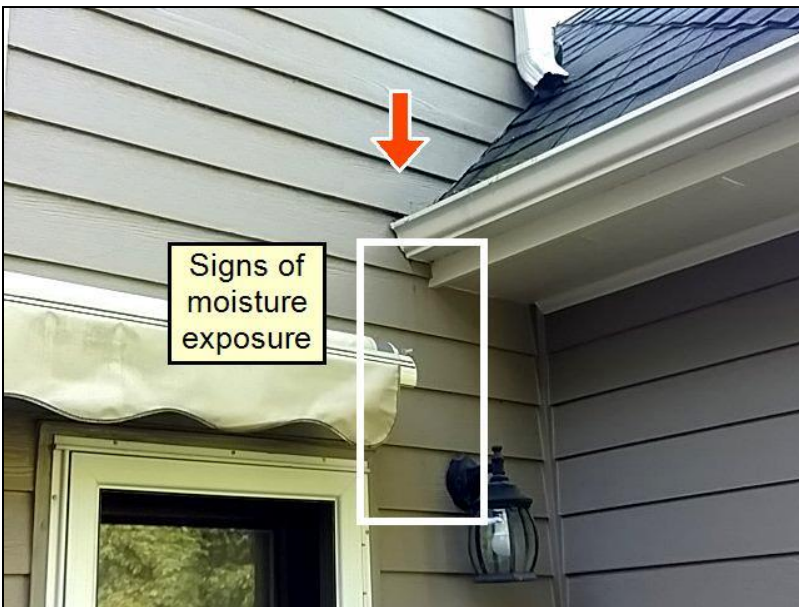


3.9 (2) Downspout extension at rear center terminated in front of deck support column. Recommend to re-direct extension to avoid erosion/weakening of soil.



Rear center

3.9 (3) Missing kick-out flashing noted at roof-to-wall intersections. NOTE: Kick-out flashing should be installed at wall-to-roof intersection to direct rain run-off away from exterior. Recommend upgrade.

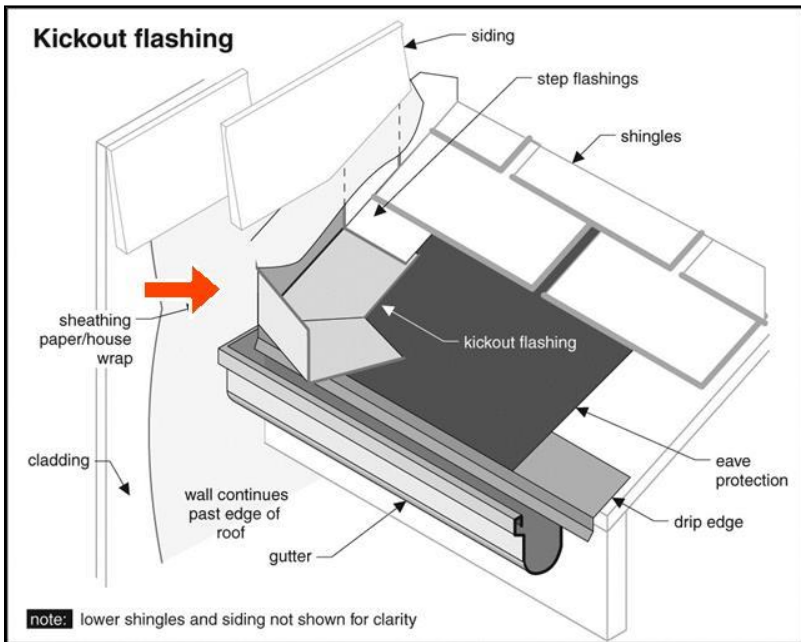


Rear left



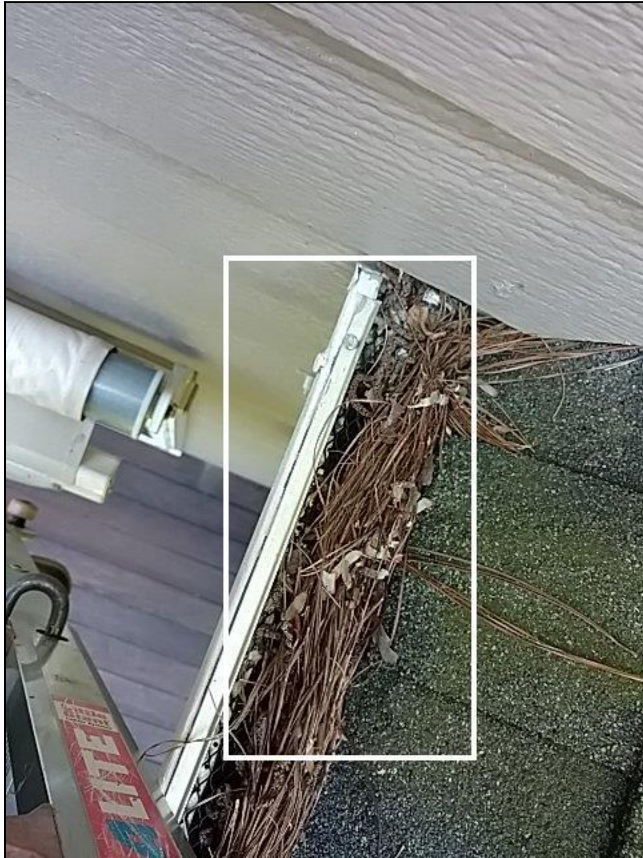


Rear center





3.9 (4) Covered gutter solution noted at numerous gutters. NOTE: Covers tend to hold/accumulate leaves/needles. Recommend frequent/as necessary maintenance to avoid rain back-up.



Rear left

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**ROOF / ATTIC**

**The inspector shall inspect:** Roofing materials, roof drainage systems. Flashing, skylights, chimneys and roof penetrations. Insulation and ventilation of attics. **The inspector shall describe:** Methods used to inspect the roofing. Roofing materials, insulation and vapor retarders in unfinished spaces. Absence of insulation in unfinished spaces at conditioned surfaces. **The inspector is NOT required to disturb insulation. The inspector is NOT required to inspect:** Antennae, interiors of vent systems. Flues and chimneys that are not readily accessible. Other installed accessories. **The inspector is NOT required to traverse:** Attic load-bearing components that are concealed by insulation or by other materials.







**4. Garage / Carport**

Orientation: Description of garage locations from facing garage entry.

**Styles & Materials**

**Garage door type:**

Two automatic

		IN	NI	NP	AR
4.0	GARAGE CEILINGS	•			
4.1	GARAGE WALLS	•			
4.2	GARAGE FLOOR	•			
4.3	GARAGE DOORS	•			
4.4	GARAGE DOOR OPERATION (report whether or not doors will reverse when met with resistance)				•
4.5	FIRE SAFETY	•			
4.6	OCCUPANT DOOR FROM GARAGE TO INSIDE HOME	•			

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

IN NI NP AR

**Comments:**

**4.2 (1) NOTE:** Garage floor at front right is below driveway grade and rain run-off could accumulate in this area. Monitor and adjust/repair as necessary.



Front right





4.2 (2) Cracks noted at the garage floor. Monitor and repair as necessary.



This location: Left

4.4 The right hand garage door did not reverse when met with resistance. Adjust lift motor as necessary.



Right

---

**GARAGE**

**The inspector shall inspect:** Garage vehicle doors and garage vehicle door operators.







**5. Interiors**

Orientation: Description of interior locations from facing entry from front or specific room entry.

**Styles & Materials**

**Ceiling materials:**

Gypsum Board

**Wall material:**

Gypsum Board

**Floor covering(s):**

Hardwood T&G  
Tile

**Window types:**

Wood  
Thermal/Insulated  
Double-hung  
Tilt feature

**Types of fireplaces:**

Solid Fuel  
Conventional

**Operable fireplaces:**

One

		IN	NI	NP	AR
5.0	INTERIOR GENERAL		•		
5.1	CEILINGS	•			
5.2	WALLS	•			
5.3	FLOORS	•			
5.4	STEPS, STAIRWAYS, BALCONIES AND RAILINGS	•			
5.5	DOORS (representative number)				•
5.6	WINDOWS (representative number)				•
5.7	FIREPLACES (heating devices, flues, vents)				•

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

IN NI NP AR

**Comments:**





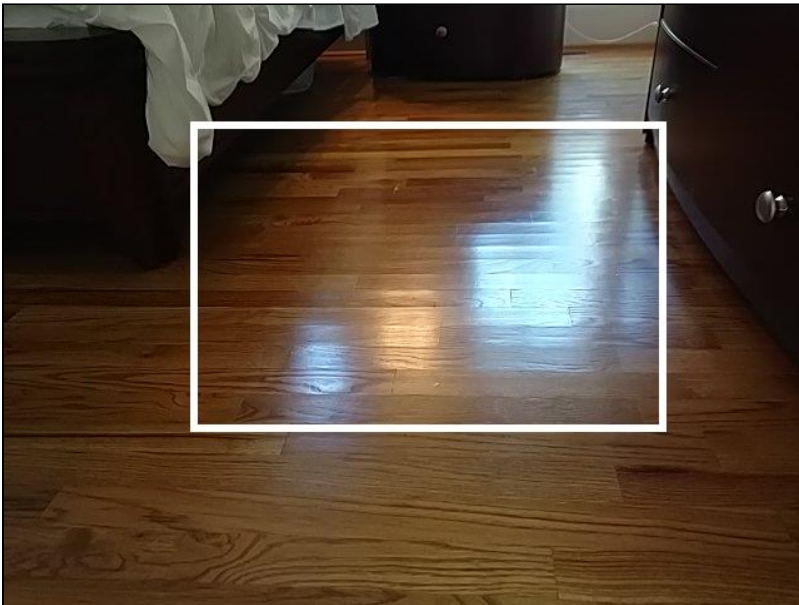
**5.0** NOTE: The home is furnished and occupied. Some areas were not accessible (including garage and basement). Recommend re-inspection once all areas are accessible.

**5.1** Missing cover noted at rear left basement closet ceiling insert. Install cover.



Rear right basement

**5.3** "Scalloping" noted at dining area and master bedroom flooring. NOTE: "Scalloping" indicates moisture content, possibly from high humidity. Monitor and repair/replace as necessary.



Master bedroom





Dining room

5.5 (1) Door at pantry does not latch. Adjust as necessary.



Pantry





5.5 (2) Exterior doors are keyed. NOTE: Egress doors should not be keyed at the interior to allow for opening of the door(s) without a key in case of emergency. Install dead bolts with thumb latch.



Laundry





Garage



Living room rear





5.5 (3) Lower door lock at right hand (stationary) panel of the front door does not lock. Adjust as necessary.



Front door

5.5 (4) Doors at rear left basement and wine cellar do not latch/door panels bind. Adjust as necessary.



Rear left basement







Wine cellar

5.5 (5) Door lock at sun room does not operate. Adjust/repair/replace as necessary.



Sun room



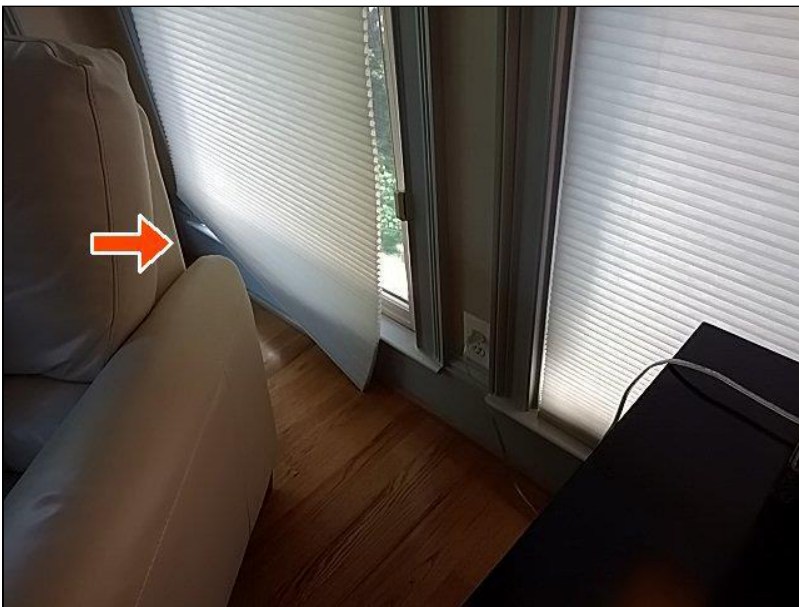


5.6 (1) Cracked pane noted at garage/rear right window. Replace pane.



Garage, rear right

5.6 (2) Window treatment hardware not operating properly and observed at sun room right hand shades and bonus room closet. Repair/replace as necessary.



Sun room, right

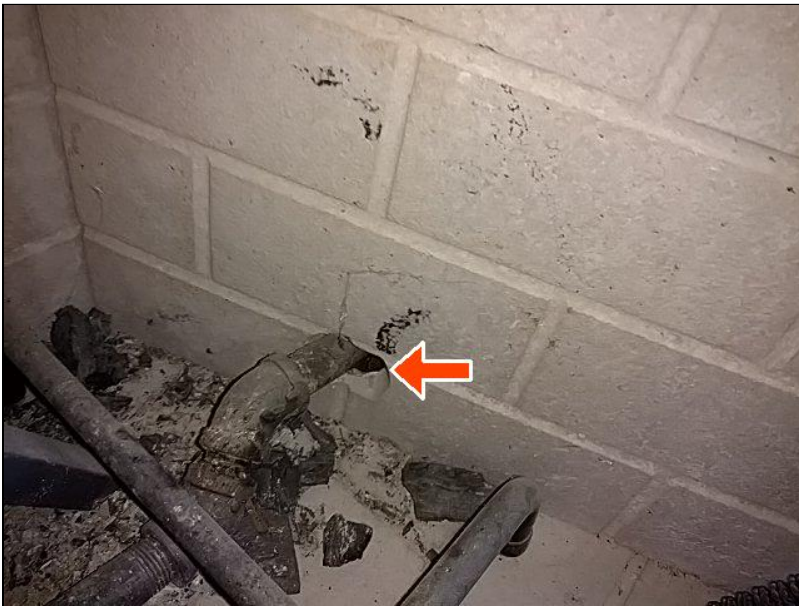






Bonus room closet

5.7 Missing seal noted at gas line penetration into the firebox at the fireplace. Seal penetration to improve fire safety.



Living room fireplace

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#### INTERIORS

**The inspector shall inspect:** Walls, ceilings, and floors, steps, stairways, and railings. A representative number of installed cabinets, a representative number of doors and windows. Fuel-burning fireplaces, stoves, and fireplace inserts, fuel-burning accessories installed in fireplaces, chimneys and vent systems. **The inspector is NOT required to describe:** Systems and components of fuel-burning fireplaces. **The inspector is NOT required to inspect:** Paint, wallpaper, and other finish treatments, floor coverings, window treatments, coatings. Hermetic seals between panes of window glass, central vacuum systems, recreational facilities. Inspect interiors of fireplace vent systems, flues, and chimneys that are not readily accessible, fire screens and doors, seals and gaskets, automatic fuel feed devices, mantles and fireplace surrounds, combustion air components and to determine their adequacy. Heat distribution assists (gravity fed and fan assisted), fuel-burning fireplaces and appliances located outside the inspected structures. **The inspector is NOT required to determine:** Draft characteristics of fireplaces. **The inspector is NOT required to move:** Furniture, appliances, fireplace inserts, stoves or firebox contents.





**6. Kitchen**

Orientation: Description of kitchen locations from facing front or particular appliance/feature.

**Styles & Materials**

**Cabinetry:**  
Wood

**Countertops:**  
Granite

		IN	NI	NP	AR
6.0	DISHWASHER	•			
6.1	FAUCETS, DRAINS	•			
6.2	RANGES, OVENS, COOKTOPS	•			
6.3	VENTILATION			•	
6.4	FOOD WASTE DISPOSAL	•			
6.5	MICROWAVE COOKING EQUIPMENT	•			
6.6	CABINETS	•			
6.7	COUNTER TOPS	•			

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IN NI NP AR

**Comments:**

**6.3** Kitchen vent was sealed at the exterior and is apparently not in use. NOTE: An alternate source of cook top ventilation was not noted. Recommend to remove unused features and seal exterior as necessary.



Kitchen vent





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KITCHEN

**The inspector shall inspect:** Installed ovens, ranges, surface cooking appliances, microwave ovens, dishwashing machines, and food waste grinders by using normal operating controls to activate the primary function. Kitchen exhaust systems. **The inspector is NOT required to inspect:** Installed and free-standing kitchen appliances not listed previously. Appliance thermostats including their calibration, adequacy of heating elements, self-cleaning oven cycles, indicator lights, door seals, timers, clocks, timed features, and other specialized features of the appliance. **The inspector is NOT required to operate, or confirm the operation:** Of every control and feature of an inspected appliance.





## 7. Plumbing System

Orientation: Description of interior locations from facing front or specific room entry; as practical.

### Styles & Materials

<b>Main water shut-off location:</b> Basement, front	<b>Plumbing water supply (into home):</b> PVC	<b>Plumbing water distribution (inside home):</b> Copper
<b>Plumbing waste drain materials:</b> PVC	<b>Water heater power source:</b> Gas (quick recovery)	<b>Water heater capacity:</b> (2) 50 gallon
<b>Water heater brand:</b> GE	<b>Water heater location:</b> Basement	<b>Water heater age:</b> 9 years
<b>Natural gas shut-off location:</b> Left		

		IN	NI	NP	AR
7.0	PLUMBING DRAIN, WASTE AND VENT SYSTEMS	•			
7.1	PLUMBING WATER SUPPLY, DISTRIBUTION SYSTEMS AND FIXTURES				•
7.2	FUEL DISTRIBUTION SYSTEM	•			
7.3	HOT WATER SYSTEMS, CONTROLS, FLUES AND VENTS	•			
7.4	LAUNDRY				•
7.5	BATHROOMS				•
7.6	BATHROOM VENTS	•			

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

IN NI NP AR

### Comments:





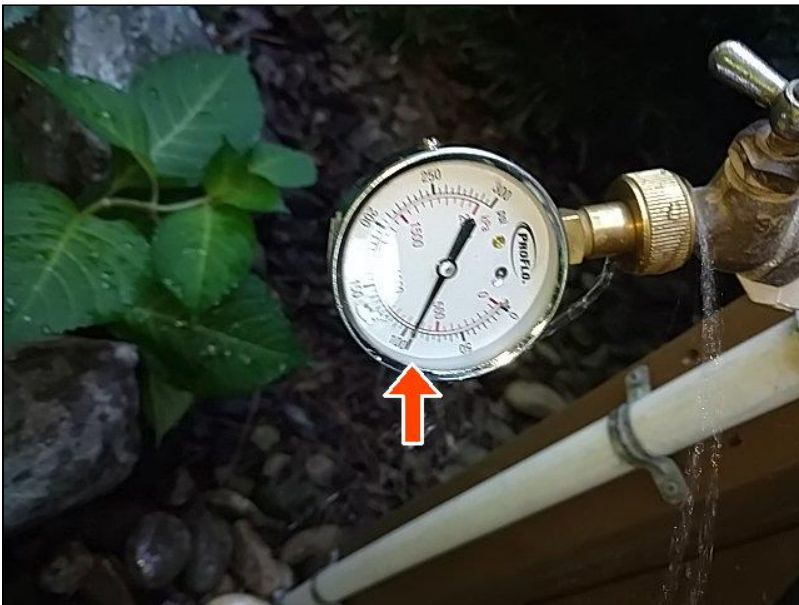


7.1 (1) Missing protection against freezing noted at rear water supply pipe. NOTE: Exposed water supply pipes should be protected against freezing. Repair as necessary.



Rear

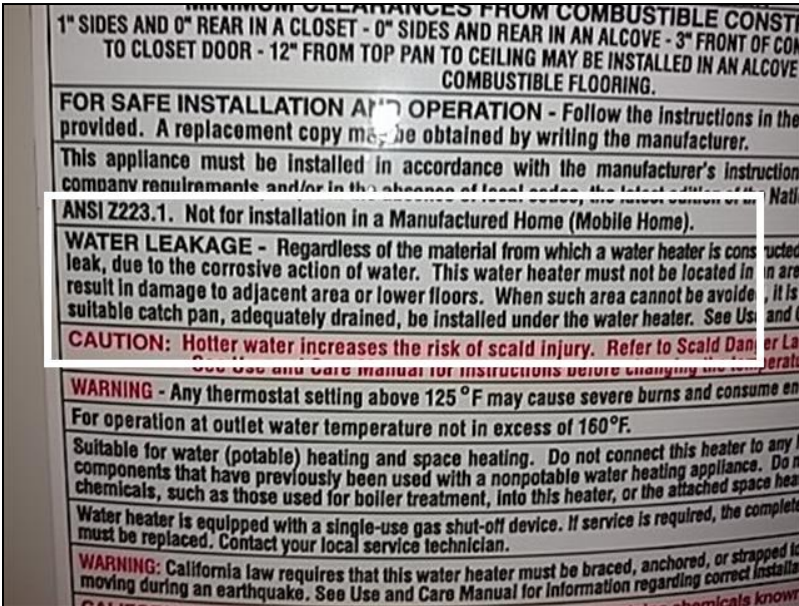
7.1 (2) High water pressure noted at rear exterior faucet (at deck). NOTE: Water pressure should not exceed 80 psi (between 40 and 80 psi). Adjust/replace pressure reduction valve as necessary to reduce water pressure below 80 psi to protect plumbing system.



7.1 (3) Signs of prior moisture entry and repairs noted at the water main supply entry into the basement. Monitor and repair as necessary.



7.3 Missing drain pan noted at water heater. Recommend to install a drain pan/catch pan with moisture sensor to minimize risk of flood damage. Refer to manufacturers guidelines.







7.4 Loose dryer vent cover and lint accumulation noted at dryer vent. The backdraft flap does not close. Clean vent to avoid fire hazard and recommend to install a louvered cover.



Loose dryer vent





Lint accumulation

7.5 (1) The whirlpool function at the master bathroom tub did not operate. Recommend evaluation by a licensed plumbing contractor.



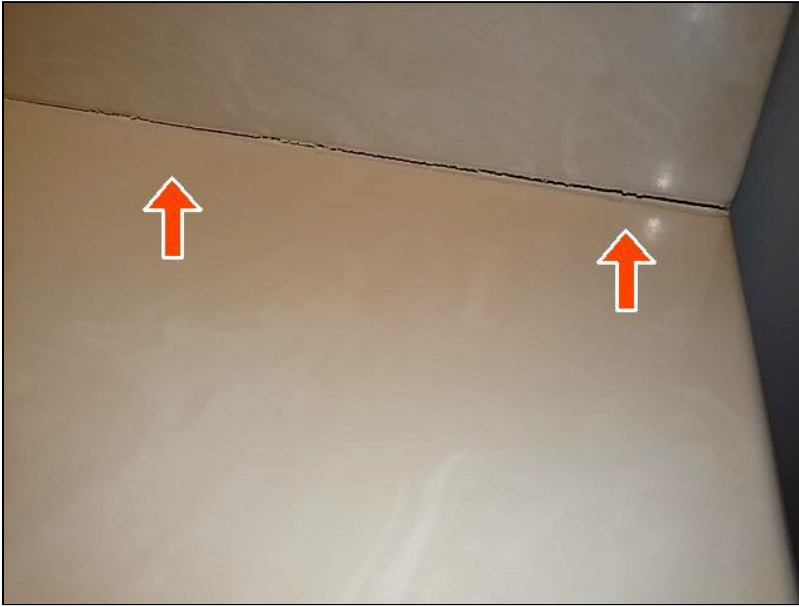
Master bathroom whirlpool tub







7.5 (2) Separation noted at numerous back-splash panels and observed at 2nd floor shared bathroom sink area(s). Seal as necessary.



2nd floor shared bathroom

7.5 (3) Leak noted at 2nd floor hall bathroom bathtub/shower head. Repair/replace as necessary.

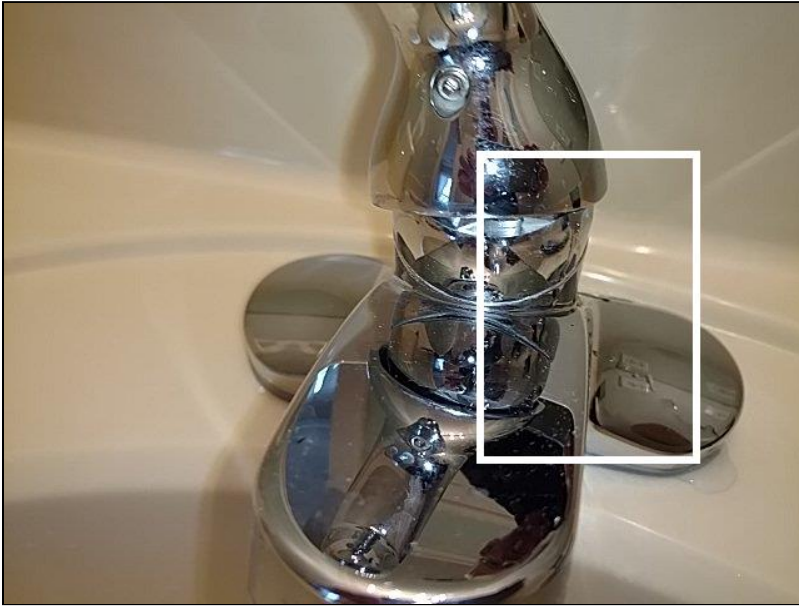


2nd floor shared bathroom





**7.5 (4) Leak noted at 2nd floor shared bathroom at left sink faucet. Recommend further evaluation by a licensed plumbing contractor.**



2nd floor shared bathroom, left sink

**7.5 (5) Loose toilet bowl noted at basement bathroom. Reset toilet bowl with approved sealing material (i.e. wax ring) and secure as necessary.**



Basement





7.5 (6) Diverter at basement bathroom did not seal properly (when set to shower operation). Adjust/repair as necessary.



Basement

7.5 (7) **Leak noted at rear left basement, presumably originating from the master bathroom shower or whirlpool tub. Consult with a licensed plumbing contractor for further evaluation.**



Rear left basement





Rear left basement

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**PLUMBING**

**The inspector shall inspect:** Interior water supply and distribution systems including fixtures and faucets. Interior drain, waste, and vent systems including fixtures, water heating equipment and hot water supply systems, vent systems, flues, and chimneys. Fuel storage and fuel distribution systems. Sewage ejectors, sump pumps, and related piping. Clothes dryer, laundry, bathroom and similar exhaust systems. **The inspector shall describe:** Interior water supply. Drain, waste, and vent piping materials. Water heating equipment, including energy source(s). Location of main water and fuel shut-off valves. **The inspector is NOT required to inspect:** Clothes washing machine connections. Interiors of vent systems, flues, and chimneys that are not readily accessible. Wells, well pumps, and water storage related equipment, water conditioning systems. Solar, geothermal, and other renewable energy water heating systems. Manual and automatic fire extinguishing and sprinkler systems. Landscape irrigation systems. Septic and other sewage disposal systems. **The inspector is NOT required to determine:** Whether water supply and sewage disposal are public or private. Water quality. The adequacy of combustion air components. Measure water supply flow and pressure, well water quantity. Fill shower pans and fixtures to test for leaks.





**8. Electrical System**

Orientation: Description of electrical components from front or facing from room entrance; as applicable.

**Styles & Materials**

<b>Electrical service conductors:</b> Below ground	<b>Location of main disconnect:</b> At meter	<b>Location panel (main and sub-panels):</b> Basement, unfinished
<b>Panel capacity:</b> 200 AMP	<b>Branch wire 15 and 20 AMP:</b> Copper	<b>Wiring methods:</b> NM (Non-metallic)

		IN	NI	NP	AR
8.0	SERVICE ENTRANCE CONDUCTORS	•			
8.1	SERVICE AND GROUNDING EQUIPMENT, PANELS, BREAKERS				•
8.2	BRANCH WIRING	•			
8.3	CONNECTED DEVICES AND FIXTURES (observed from a representative number of ceiling fans, lighting fixtures and switches)				•
8.4	RECEPTACLES (observed from a representative number of receptacles)				•
8.5	GFCI (Ground Fault Circuit Interrupters)			•	•
8.6	AFCI (Arc Fault Circuit Interrupters)		•		
8.7	SMOKE DETECTORS		•		
8.8	CARBON MONOXIDE DETECTORS		•		

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

**IN NI NP AR**

**Comments:**

**8.1** Missing bonding jumper noted to bypass equipment in-line at copper water lines (i.e. pressure reduction valve) or to connect hot/cold water lines. Install bonding jumper(s) as necessary to include copper water lines into the grounding system.



Pressure reduction valve





8.3 (1) Loose fixture noted at rear left exterior (deck). Adjust fixture/seal as necessary to avoid moisture entry.



Rear left

8.3 (2) Separated light fixture noted at master bathroom shower. Adjust as necessary.



Master bathroom shower





8.3 (3) Light fixtures at numerous locations did not operate and observed at the basement bathroom fan/light and rear basement light fixtures. Check light bulbs/evaluate circuits. Replace/repair where necessary.



Basement bathroom



Rear center basement





8.4 Missing cover noted at receptacle in the kitchen sink cabinet. NOTE: Junction, switch and receptacle boxes should be covered. Install covers as necessary.



Kitchen sink cabinet

8.5 (1) Missing GFCI (and AFCI) protection noted at kitchen receptacles (counter, island and under-sink). Recommend to install GFCI (and AFCI) protection at noted locations.



Kitchen counters







Kitchen island

8.5 (2) The GFCI receptacle in the master bathroom was found painted over. Recommend replacement.



Master bathroom





8.5 (3) The GFCI receptacle in the basement bathroom did not reset. Recommend evaluation of the receptacle, wiring, breaker (as necessary) by a licensed electrical contractor.



Basement bathroom

8.7 NOTE: The smoke and carbon monoxide detectors appear to be monitored remotely (some locations). Unable to test functions. Recommend to consult with owner for clarification.



8.8 Refer to previous comment.

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**ELECTRICAL**

**The inspector shall inspect:** Service drop, service entrance conductors, cables, and raceways. Service equipment and main disconnects. Service grounding. Interior components of service panels and subpanels. Conductors, overcurrent protection devices. A representative number of installed lighting fixtures, switches and receptacles. Ground fault circuit interrupters and arc fault circuit interrupters. **The inspector shall describe:** Amperage rating of the service. Location of main disconnect(s) and subpanels. Presence or absence of smoke alarms and carbon monoxide alarms. The predominant branch circuit wiring method. **The inspector is NOT required to inspect:** Remote control devices, test smoke and carbon monoxide alarms, security systems, other signaling and warning devices. Low voltage wiring systems and components. Ancillary wiring systems and components not a part of the primary electrical power distribution system. Solar, geothermal, wind and other renewable energy systems. **The inspector is NOT required to measure:** amperage, voltage and impedance. **The inspector is NOT required to determine:** Age and type of smoke alarms and carbon monoxide alarms.





**9. Heating / Air Conditioning**

Orientation: Description of applicancies at specific locations or serving specific locations; as applicable.

**Styles & Materials**

<b>1st floor heat system brand:</b> CARRIER Approximate date of manufacture : 1997	<b>1st floor type / tonnage / BTU/hr.:</b> Gas 90,000 BTU/hr.	<b>2nd floor heat system brand:</b> CARRIER Approximate date of manufacture : 1997
<b>2nd floor type / tonnage / BTU/hr.:</b> Gas 70,000 BTU/hr.	<b>Basement heat system brand:</b> RHEEM Approximate date of manufacture : 2002	<b>Basement type / tonnage / BTU/hr.:</b> Gas 50,000 BTU/hr.
<b>1st floor air conditioner brand:</b> CARRIER Approximate date of manufacture : 2012	<b>1st floor type / tonnage:</b> 3 1/2 ton	<b>2nd floor air conditioner brand:</b> CARRIER Approximate date of manufacture : 1997
<b>2nd floor type / tonnage:</b> 2 1/2 ton	<b>Basement air conditioner brand:</b> RHEEM Approximate date of manufacture : 2006	<b>Basement type / tonnage:</b> 1 1/2 ton

		IN	NI	NP	AR
9.0	HEATING EQUIPMENT				•
9.1	NORMAL OPERATING CONTROLS	•			
9.2	AUTOMATIC SAFETY CONTROLS	•			
9.3	DISTRIBUTION SYSTEMS (fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)				•
9.4	COOLING AND AIR HANDLER EQUIPMENT				•

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

IN NI NP AR

**Comments:**





9.0 (1) The serial numbers of the 1st and 2nd floor furnaces indicates a year of manufacture in 1997 and are 20+ old. NOTE: The typical life expectancy of furnaces is 15 - 20 years. Recommend service/evaluation by a HVAC contractor.



Age of 1st floor furnace



Age of 2nd floor furnace



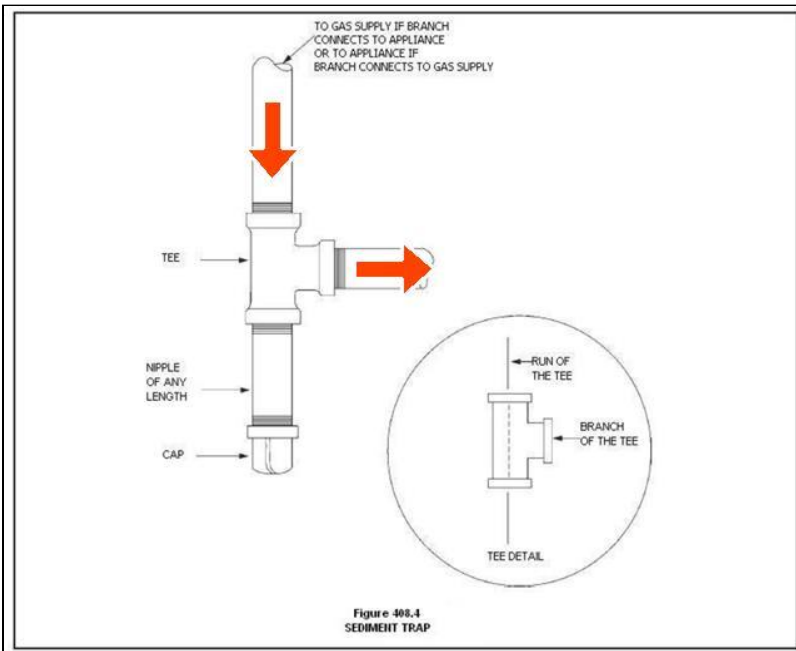




9.0 (2) Improper installation of sediment trap noted at 2nd floor furnace gas supply. NOTE: The sediment trap has to be installed at a turn of the gas supply to work as intended. Repair as necessary. Refer to attached illustration for acceptable sediment trap configuration.



2nd floor

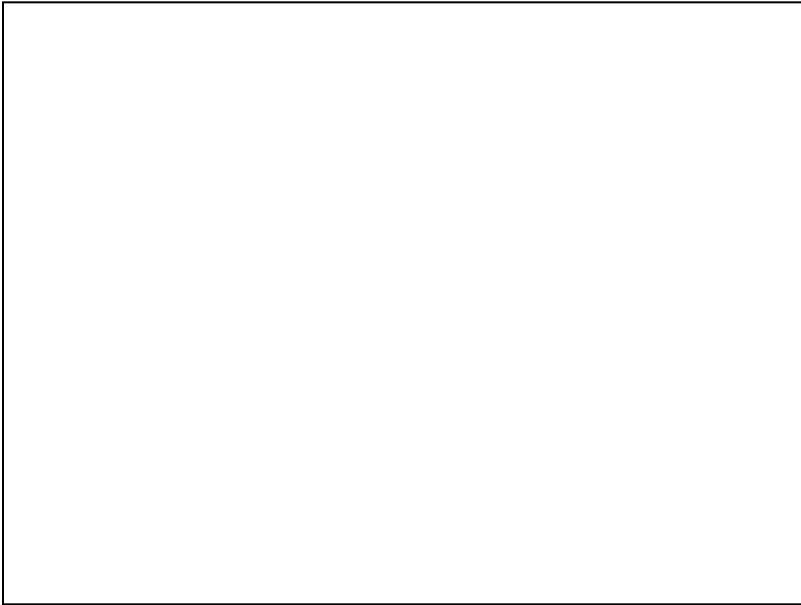




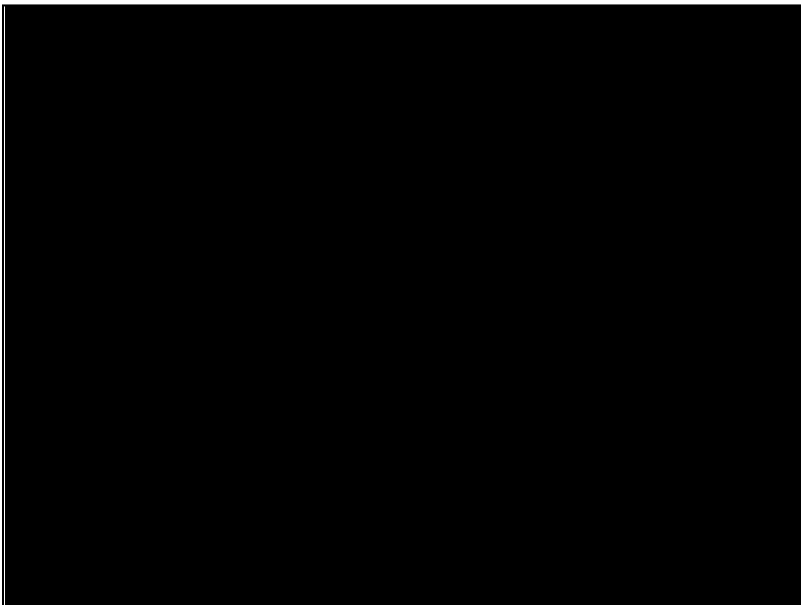
9.0 (3) Combustion air not sufficient (for gas-fueled appliances). The combined BTU/hr. rating of 180,000 BTU/hr for the 1st floor furnace, basement furnace and water heater requires a room size of 9,000 cu.ft. if combustion air is taken from an enclosed area. NOTE: 50 cu.ft. per 1,000 BTU/hr. should be available if the combustion air is taken from a enclosed area. The available area volume is appr. 5,000 cu.ft. Introduce external combustion air to ensure proper operation of gas-fueled appliances.

BTU/hr. 1st floor furnace





BTU/hr. basement furnace



BTU/hr. Water heater





9.3 (1) Duct cover in the laundry is not secure. Repair as necessary.



Laundry

9.3 (2) The filter in the 1st floor return plenum was found bend (bending during operation). Recommend to install a retainer to keep the filter straight and improve air filtration.



1st floor







9.4 (1) The condenser pad for the 2nd floor condenser is not level. NOTE: Typically a level pad is required for condensers. Recommend to refer to (condenser) manufacturers installation guidelines and repairs if necessary.



2nd floor condenser

9.4 (2) **The serial number of the 2nd floor air conditioning unit indicates a year of manufacture in 1997 and is 20+ years old. NOTE: The typical life expectancy of condensers in the Southeast US is 15 - 20 years. Recommend service/evaluation by a licensed HVAC contractor.**



Age of (2nd floor) air conditioning unit





**9.4 (3) Inadequate cooling noted at 2nd floor and basement. NOTE: A temperature difference of 15 F between return and supply is desired. The actual measured temperature was appr. 6 F (2nd floor), resp. 8 F (basement). Recommend further evaluation/service by a licensed HVAC contractor.**

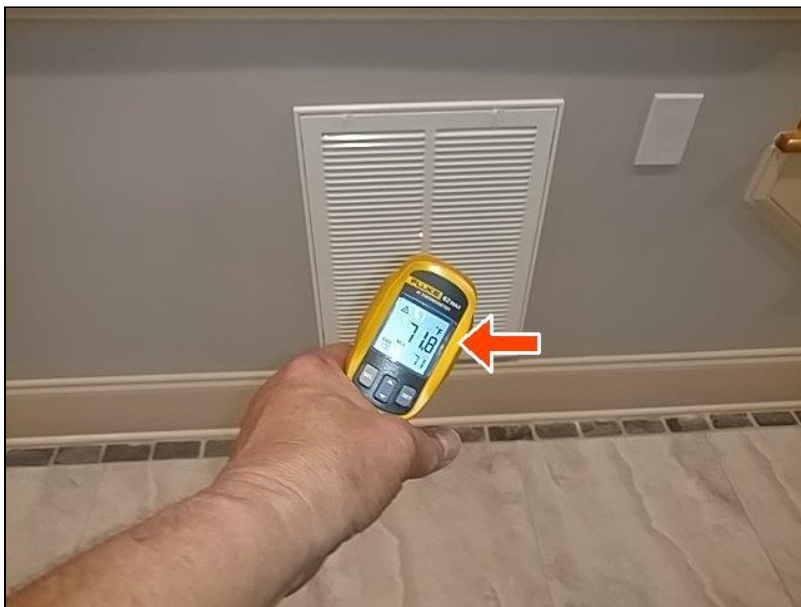


2nd floor, return



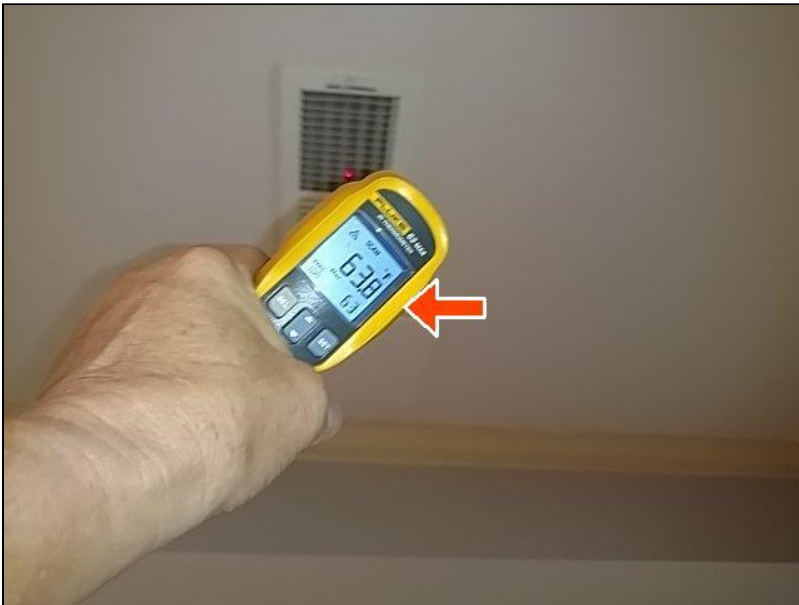


2nd floor, supply



Basement, return





Basement, supply

9.4 (4) Dripping condensate noted at 2nd floor condensate drain. Recommend to install insulation to avoid moisture dripping.

ALSO: Missing cap noted at the drain line turn-of-direction. Install (removable) cap to improve efficiency



2nd floor







9.4 (5) Line set not secured. Noted at 2nd floor. NOTE: Typically line sets are secured every 6 ft. Refer to manufacturers guidelines and repair as necessary.



2nd floor line set

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**HEATING / COOLING**

**The inspector shall open:** readily openable access panels. **The inspector shall inspect:** Installed heating equipment. Central and permanently installed cooling equipment, vent systems, flues, and chimneys, distribution systems. **The inspector shall describe:** Heating systems, cooling systems and their energy source(s). **The inspector is NOT required to inspect:** Interiors of vent systems, flues, and chimneys that are not readily accessible. Heat exchangers, humidifiers and dehumidifiers, electric air cleaning and sanitizing devices, heating systems using ground-source. Inspect heating and cooling units that are not permanently installed or that are installed in windows. Water-source, solar, and renewable energy technologies. Heat-recovery and similar whole-house mechanical ventilation systems. **The inspector is NOT required to determine:** Heat and cooling supply adequacy and distribution balance. The adequacy of combustion air components.





**10. Foundation**

Orientation: Description of locations from facing front.

**Styles & Materials**

**Foundation:**

Poured concrete

**Floor structure:**

Wood joists

**Wall structure:**

Wood

**Ceiling structure:**

Not visible

		IN	NI	NP	AR
10.0	FOUNDATIONS		•		
10.1	WALLS		•		
10.2	FLOORS		•		
10.3	CEILINGS		•		
10.4	ANIMAL AND INSECT ACTIVITY				•
10.5	INSULATION			•	

IN= Inspected, NI= Not Inspected, NP= Not Present, AR= Attention required

IN NI NP AR

**Comments:**





10.1 Crack noted at front basement foundation wall. Observe and repair as necessary.



Front basement wall

10.4 Treatment against wood destroying organisms noted. Recommend to consult with owner about termite bond or obtain from a licensed pest control contractor.





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FOUNDATION

**The inspector shall inspect:** Structural components, including the foundation and framing. Insulation and vapor retarders in unfinished spaces, ventilation of foundation areas. **The inspector shall describe:** The foundation, the floor structure, the wall structure, the ceiling structure. Insulation and vapor retarders in unfinished spaces. Absence of insulation in unfinished spaces at conditioned surfaces. Methods used to inspect under-floor crawlspaces. **The inspector is NOT required to disturb insulation.** **The inspector is NOT required to provide:** Engineering or architectural services or analysis. **The inspector is NOT required to offer:** An opinion about the adequacy of structural systems and components. **The inspector is NOT required to enter:** Under-floor crawlspace areas that have less than 24 inches of vertical clearance between component and the ground or that have an access opening smaller than 16 inches by 24 inches.







# CHAMPIA

REAL ESTATE INSPECTIONS

## INVOICE

Champia Real Estate Inspections, LLC  
4015 Wetherburn Way  
Building A, Suite 200  
Peachtree Corners, GA 30092  
770-953-0767  
Inspected By:

Inspection Date: 8/6/2018  
Report ID: 32621 a

<b>Customer Info:</b> 	<b>Inspection Property:</b> 
<b>Customer's Real Estate Professional:</b> 	

**Inspection Fee:**

Service	Price	Amount	Sub-Total
Inspection Fee (Essential)	575.00	1	575.00
Radon Testing	185.00	1	185.00
			<b>Tax \$0.00</b>
			<b>Total Price \$760.00</b>

**Payment Method:**  
**Payment Status:**  
**Note:**



# CHAMPIA REAL ESTATE INSPECTIONS, LLC INSPECTION AUTHORIZATION AGREEMENT

THIS AGREEMENT LIMITS OUR LIABILITY. PLEASE READ IT CAREFULLY.

For and in consideration of the mutual promises and the terms of this agreement, THE PARTIES HERETO: Champia Real Estate Inspections LLC (hereinafter referred to as "INSPECTOR") and customer named at the end of this form, (hereinafter referred to as "CUSTOMER") AGREE AS FOLLOWS:

1. INSPECTOR agrees to perform a visual inspection of the subject house and to provide CUSTOMER with a written inspection report identifying the major deficiencies. The inspection will be of readily accessible areas of the house and is limited to visual observations of apparent conditions existing at the time of the inspection only. The inspection includes only items and systems expressly and specifically identified as follows: drainage, foundation, electrical, plumbing, interior, materials of construction, attic, central air conditioning (weather permitting), heating, crawlspace/basement, fireplace(s), and insulation.
2. Systems and condition of the systems, which are not within the scope of this inspection include, but are not limited to: environmental hazards (e.g., lead paint, mold/mildew, toxic or flammable materials, asbestos, radon); pest infestation, portable appliances (e.g. washers, dryers, window air conditioners, room heaters, & refrigerators); fire or lawn sprinkler systems; swimming pools; spas; tennis courts; playground or other recreational or leisure appliances; efficiency or performance evaluation of appliances or systems; solar heating systems; intercoms, timers, or audio equipment, below ground septic or drainage systems; water wells; detached buildings, EIFS stucco; any system which is shut down or otherwise secured; zoning ordinances, building code conformity; or any items considered cosmetic in nature. CUSTOMER understands that these systems and conditions are excluded from this inspection and they should have the seller demonstrate satisfactory operation of those items. Any general comments about these systems and conditions of these systems are informational only and do not represent an inspection.
3. The inspection will be performed in a manner consistent with the Standards of Practice of the American Society of Home Inspectors (ASHI). The Standard and Practice is available at [www.ASHI.com](http://www.ashi.com) (<http://www.ashi.com/>). The inspection is completed at the site and all information will be conveyed to you or your representative at the time the inspection report is completed. The inspection and report are performed and prepared for the sole, confidential, and exclusive use and possession of CUSTOMER. INSPECTOR accepts no responsibility for use or misinterpretation by third parties.
4. The INSPECTOR is not required to move personal property, debris, furniture, equipment, carpeting, or like materials, which may impede access or limit visibility. Major deficiencies and defects, which are latent or concealed, are excluded from the inspection. The inspection is not intended to be technically exhaustive. Equipment and systems will not be dismantled. CUSTOMER agrees to assume all risk for all conditions, which are concealed from view at the time of the inspection.
5. This inspection report is not intended to be used as a guarantee or warranty, expressed or implied, regarding the adequacy, performance or condition of any inspected structure, item or system. The inspection and report are not intended to reflect the value of the premises, nor to make any representation as to the advisability of purchase or the suitability for use.
6. The CUSTOMER agrees to pay to the INSPECTOR an inspection fee in the amount stated at the end of this form (hereunder referred to as the "INSPECTION FEE") upon the completion of the inspection.
7. It is understood and agreed that should the INSPECTOR or the agents or employees of the INSPECTOR, or all, be found liable for any loss or damages resulting from a failure to perform any of the obligations of the INSPECTOR, including, but not limited to negligence, breach of contract, or otherwise, that the liability of the INSPECTOR or the agents or employees of the INSPECTOR, shall be limited to a sum equal to the amount of the INSPECTION FEE.
8. This INSPECTION AUTHORIZATION AGREEMENT represents the entire agreement between the INSPECTOR and the CUSTOMER. No change or modification shall be enforceable against any party unless such change or modification is in writing and signed by the parties. This agreement shall be binding upon and enforceable by the parties, if a corporation, its successors, assigns, agents, employees, attorneys in fact, attorneys at law and representatives, and if an individual, their heirs, executors, administrators, successors, assigns, attorneys in fact, attorneys and representatives.
9. THE INSPECTION AND REPORT ARE PERFORMED AND PREPARED FOR THE EXCLUSIVE AND CONFIDENTIAL USE AND POSSESSION OF THE CUSTOMER. THIS REPORT IS NOT TRANSFERABLE OR ASSIGNABLE. Neither the INSPECTOR nor Champia Real Estate Inspections is responsible or liable for the use of the report by any third party for any reason.
10. CUSTOMER understands and agrees that any claim for failure to accurately report the visually discernible conditions at the subject property, as limited herein above, shall be made in writing and reported to the Inspector within ten (10) business days of discovery.



CUSTOMER further agrees that, with the exception of emergency conditions, CUSTOMER or CUSTOMER's agents, employees or independent contractors, will make NO alterations, modifications or repairs to the claimed discrepancy prior to a re-inspection by the inspector. CUSTOMER understands and agrees that any failure to notify the inspector as stated above shall constitute a waiver of any and all claims for said failure to accurately report the condition in question.

11. If CUSTOMER is not present at the beginning of the Inspection, or, for whatever reason, did not sign the Inspection Authorization Agreement, the CUSTOMER by accepting, paying for, or using in any way the Inspection Report, explicitly acknowledge and agree to be bound by the terms and conditions of the Inspection Authorization Agreement.

**Inspection Fee:**

**Termite Letter:**

**Discount:**

**Total:**

**CUSTOMER NAME:**

**PROPERTY ADDRESS:**

**DATE:**

AIR CONDITIONING UNIT: If the temperature is below sixty (60) degrees on the day of the inspection or has fallen below sixty (60) degrees the night before our inspection, we will not be able to test the air conditioning unit. In those situations, we advise you to contact an air conditioning company for verification of the unit(s).

RADON INSPECTION AUTHORIZATION (if radon service purchased): The EPA recommends that ALL homebuyers have an indoor Radon test conducted. Radon is a Class A carcinogen and the second leading cause of lung cancer, estimated to cause 15,000 – 20,000 deaths in the US annually. According to the EPA's Map of Radon Zones, the Atlanta and surrounding areas are ranked as Zone 1 and 2 (highest Radon potential in Georgia). The CUSTOMER may authorize INSPECTOR to perform Radon Test at the time of inspection for an additional fee.

ARBITRATION: All claims and disputes arising under or relating to this Agreement are to be settled by binding arbitration in the state of Georgia. An award of arbitration may be confirmed in a court of competent jurisdiction. The arbitrator is to be chosen by Champia Real Estate Inspections LLC.

**Unless directed otherwise this report will be sent to the buyer's real estate agent and authorization is granted to discuss inspection report with the buyer's agent.**

**I/WE HAVE READ, UNDERSTAND AND AGREE TO ALL OF THE TERMS AND CONDITIONS OF THIS AGREEMENT AND AGREE TO PAY THE FEES LISTED ABOVE:**

Champia Real Estate Inspections, LLC Inspector Customer or Authorized Representative Signature

**PLEASE SEND AGREEMENT FAX: (470) 299-4534**

**Champia Real Estate Inspections LLC, 4015 Wetherburn Way, Bldg. A, Ste. 200, Peachtree Corners, GA 30092**





**Champia Real Estate Inspections, LLC**



**4015 Wetherburn Way  
Building A, Suite 200  
Peachtree Corners, GA 30092  
770-953-0767**

